



# Material and Design Guidelines

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## 751 SOUTH ARCHITECTURAL REVIEW BOARD

### MATERIAL AND DESIGN GUIDELINES

This document summarizes the material and design review for 751 South. Full details of the actual limitations and controls are contained within the 751 South Master Declaration of Codes, Covenants and Easements and the 751 South Book of Operating Principles.

The 751 South Architectural Review Board (ARB) reserves the right to modify the design review process with adequate notice to the builder. Should this process be modified after the design review has commenced on a particular housing product, the new requirements shall not be retroactive. Only new applications for design will be required to comply with the new regulations.

The approval of the plans by the ARB shall not constitute a representation of warranty or bind the ARB as to conformance of any aspect of the plans with any applicable laws, codes, rules or regulations, or to the adequacy of design. ARB comments, representations, and approvals or disapprovals shall only constitute indication of the suitability of the aesthetic elements of the proposed plans and materials for purposes of acceptability to the ARB as part of the 751 South community.

## SECTION I

### MISSION, FUNCTION, POWERS AND DUTIES

#### 1. Mission and Function

751 South is being developed as a physically well-connected community which promotes a pedestrian and architectural experience through prominence given to spatially defining the public realm. The public realm includes street spaces, civic spaces, parks, squares, greens, and other shared spaces. A variety of building types contribute to the texture and the fabric of the community including single family houses with attached and detached garages, townhomes, retail, vertically mixed use, office, educational, civic, and recreational structures. All of these elements will work in concert with each other to create an identifiable sense of "place."

The purpose of the Architectural Review Board (ARB) is to uphold the principles, approaches, and strategies that contribute to the shaping of a walkable, complete, connected, compact, and sustainable community, and to creating and enhancing the lasting value associated with such places. A basic guide for effective architectural design can be found in the book, *A Field Guide to American Houses*, by Virginia McAlester. In order to encourage sensitive and timeless architectural design approaches and to facilitate the vision for 751 South, the ARB has established these design review guidelines. In addition to the ARB requirements, all property owners are also bound by the provisions in the Master Declaration of Codes, Covenants and Easements, Declaration of Codes Covenants and Easements for the Residential Neighborhood in 751 South and the Bylaws of the 751 South Neighborhood Association, Inc.

No structure or residential lot within 751 South shall be erected or modified unless and until plans, including colors, material choices, and landscaping, are approved in writing by the ARB.

#### 2. Powers and Duties

All applications and requests for design review shall be received and reviewed by the ARB. The ARB shall be responsible for the administration of design guidelines, including but not limited to design and construction review of every structure built within 751 South. The ARB shall have exclusive jurisdiction over all architectural approvals of the proposed new construction within 751 South for purpose of compliance with the ARB requirements. The ARB has also retained the right to review all proposed alterations and modifications to existing structures including, but not limited to, walls, fences, exterior painting, material placement, window tinting, renovation, additions and landscaping.

#### 3. Scope of Review

The ARB reserves the right to review the plans, specifications, materials and samples submitted to them by the applicant, to verify that the proposed structures and or alterations to the existing structures conform to the vision for 751 South as previously mentioned. The ARB may consider any factor it deems relevant, including harmony of external design with surrounding structures and environment and consistency with the visual themes established for 751 South. Each titleholder, by accepting a deed to Real Property in 751 South, acknowledges that the determination as to such matters may be subjective and opinions may vary as to the desirability or attractiveness of particular improvements. Neither ARB, nor its agents, assumes responsibility for the following:

- 3.1 the structural integrity of soundness of the proposed structures or alterations;
- 3.2 compliance with any and all applicable building code, safety requirements, governmental laws, regulations and ordinances;
- 3.3 the quality of work or performance of any contractor;
- 3.4 Any means or method of construction;
- 3.5 defects in any plans or specifications submitted, revised or approved;
- 3.6 any structural or other defects in work done according to the approved plans; any injury, damages or losses arising out of the manner or quality of approved construction on, or modification to, any structures within 751 South.

4. Enforcement Powers

Should any structure be built or altered within 751 South without the prior approval of the ARB, the ARB has the right to require the Owner, at the Owner's expense, to stop all work, and/or to remove and/or alter such improvement so that it complies with the standards and rules established by the ARB. Should an Owner fail to address the violation, the ARB shall have the right to remedy it and restore the improvements to the property to substantially the same condition as previously existed.

5. Nomenclature

In this and other related documents, the terms Architectural Review Board, ARB, and Architectural Approval Committee, and Architectural Review Committee, shall all refer to the same entity having such powers as defined by the Master Declaration of Covenants for 751 South. The terms Design Guidelines, and the 751 South Material and Design Guidelines shall all refer to the current version of this document. The term 751 South may at times be used to refer to the neighborhood, the development, or the developer, as intended in any give use.

## SECTION II

### DESIGN GUIDELINES

**A. Conceptual Planning and Site Design**

**1. Soils Reports and Surveys**

- a. Builders are encouraged to have a soils report completed for their lot(s). 751 South can provide soils reports for the infrastructure portion of the development.
- b. 751 South will provide a basic lot survey and stake the four (4) corners of the lot(s). Each builder should perform their own survey for grades and placement of unit(s) on the lot.

**2. Parking**

- a. Two spaces are required at all single-family lots. These may be uncovered or garaged.
- b. All required on-site parking spaces shall be 9 feet wide by 18' long or as required by City Zoning Regulations.
- c. All alley setbacks for rear loaded units shall be 5' as measured from the alley right of way to the front face of the garage. No parking is allowed in this setback area.

- d. We do encourage parking spaces adjacent to garages or accessory units. If these are provided they can encroach on this 5' setback; however the entire 18' depth must be contained within the property line.
- 3. Garage Placement on the Lot**
- a. Garages shall be placed at no less than 5' from the rear property line.
  - b. The top of the slab of garage floors at the garage door openings shall be 6 to 12 inches above the grade of the adjacent alley.
  - c. Where garages are adjacent to a park or path, they should be placed such that they provide an edge to help define the adjacent space.
- 4. Trash Enclosures**
- a. If trash cans are not kept in garages they must be placed in an enclosure of not less than 5' tall. These enclosures can be fence or landscaping material.
  - b. Trash enclosures may be place in the side and rear yards. If a fence is provided, it shall match the design of other fences on the lot.
- 5. Grading**
- a. Due to the topography of the site, grading information might be required on a lot by lot basis. 751 South will provide spot grades for the lots based on the Civil Plans. It is the responsibility of the builder to ensure that water drains away from all structures.
  - b. Finished grades shall generally slope from the house to the sidewalk or parks at the front of the lot, swales at the common side yards and to the alleys or streets at the front, side and rear of lots.
  - c. All patios and other exterior hardscapes shall slope away from houses and garages. Grades on patios shall be in the 1% to 2% range maximum. Add yard drains and retaining walls if needed to control grades and water in patio areas where furniture needs to be reasonably level.
  - d. The following are slope guidelines to follow in 751 South
    - Driveways = 0.5% min, 20% max (10% cross slope max)
    - Walkways = 0.5% min, 10% max (4% cross slope max), 8% max ADA
    - Concrete Patios = 0.5% min, 2% max
    - Brick/Stone Patios = 0.75% min, 2% max
    - Lawn = 2% min, 25% max
    - Planted Slopes = 2% min, 30% max

## **B. Building Design**

### **1. General Building Design and Composition of Elements**

- a. Our goal is to facilitate texture and the layering of experience through materials and the definition of the public spaces throughout 751 South. Simple massing and traditional roof forms, including hip, gable and mansard types, are encouraged. In certain larger structures, low slope roofs with parapet walls are appropriate. Roof pitches consistent with stylistic precedents may include a range of materials: metal, slate tile, asphalt, fiberglass shingles or other materials which aid in green building objectives. A variety of building materials are encouraged: brick, stone, wood, stucco or cementitious siding. Changes in building materials should generally occur at a horizontal location rather than vertically. Windows should be wood, metal or vinyl clad with clear glazing. For residential units, four architectural styles should primarily be

used – Colonial Revival, Victorian, Folk Victorian and Arts & Crafts. Examples of the proper use and detailing of these styles can be found in *A Field Guide to American Houses* by Virginia McAlester.

- b. Massing – Massing should be simple and additive rather than complicated and multi-dimensional. Each house should incorporate several basic principles by being organized as follows:
  1. Main body of the house which is the principle mass and includes the front door.
  2. Side or Rear Wings – which are one or two stories connected to the main body, with smaller massing than the main body and offset corners from the main building mass.
  3. Porches are encouraged and should be added to the Main Body, or where stylistically appropriate to secondary wings. Porches may include full façade front porches and side porches. Some architectural styles have inset porches into the Main Body of the house.
  4. Out Buildings including carports, garages, storage, carriage buildings and work studios should be placed behind the main mass of the house. If connected to the main building mass, the connecting element shall be clearly subordinate to the main mass and the secondary element such as the garage.
  5. All detached housing should be organized to maximize the availability, definition, and use of private outdoor space through establishing edges and a strong relationship between indoor and outdoor space.
- c. Except where noted otherwise the minimum setback to all built structures from the adjacent side yard property line is 3’.
- d. Houses must follow the General Guidelines included in the 751 Assemblage Plan dated 8/11/2010 which was further clarified by Sheet SD1.7 of the Approved Amended Site Plan for Phase 1 dated 4/25/18.
- e. Houses on lots at the corners of thoroughfares and lane intersections should address and respond to the Side Street, lane, path or alley in addition to the thoroughfare upon which they front. This requirement is further detailed by the 751 South Phase 1A Lot Map with Builder Assignments and Lot Coding dated 4/11/18.
- f. Designs of buildings and accessory buildings at the corners of alleys and streets shall receive special attention, and generally have more formal compositions of massing and fenestration than buildings on interior lots. The focus should be in spatially defining the public realm along both frontages, including the same quality of material selections and architectural details.
- g. Houses on lots that terminate thoroughfares and/or views should have facades that are well composed and detailed, responding to the particular sightlines.
- h. All buildings should have exterior walls that are generally evenly fenestrated. Windows and doors should be placed generally evenly and/or with intentionality in the exterior composition, and to break up long wall planes. In some cases, faux windows – enclosed with shutters, complete with shutter hinges and shutter dogs may substitute for a real window.
- i. For front loaded houses, not including the tuck under townhouses, the following guidelines should be used for garage placement:
  1. Garages and carports should be set back as far as possible from the property line. Please refer to the approved 751 Lot Standards – ARB Regulations Chart dated June 15, 2016 for additional information.

2. For all conditions where the garage is front facing, it shall be set 5' back from the main body façade.
  3. The garage may be attached to the house but must read as a separate distinct structure from the house.
  4. The maximum width for the first 30' of the front driveway of single-family houses is 10' unless deemed necessary for other functionality as approved by the 751 South ARB. Widths of driveways for front loaded townhouses will be reviewed on case by case basis.
- j. Garage doors that face the street or are highly visible from the street or main thoroughfare shall be of the same quality of the materials used on the primary façade of the house. Please refer to the material guidelines for further information regarding the specific type of garage door to be used.
  - k. Electrical meters, A/C Compressors, gas and electrical meters, garbage cans should not be visible from the public thoroughfare. These items shall be set back from the main mass of the house and screened in some acceptable manner via landscaping or fencing. These should be ganged together in a common place if possible on either one side of the house or the other.
  - l. Due to lot sizes we recommend that a privacy fence of six (6) feet in height minimum be placed around the private yard space. This will help define this space from the adjacent yard or park area and provides the homeowner a private exterior space for outdoor living, dining, cooking, etc.
  - m. Houses should be spatially and architecturally organized in a manner consistent with an identifiable vernacular. Trim, windows, siding, doors etc. should fall within the implied vernacular.
  - n. Simplicity and historical precedent shall be considered when developing plan layouts, massing, and roof design, as well as full execution of the design details.
  - o. No more than two (2) siding materials can be used on each housing unit. Any change in siding material generally shall occur at a horizontal location unless deemed stylistically or aesthetically appropriate by the 751 South ARB.
  - p. All exposed concrete or masonry foundations shall have a stucco or equivalent parge coat installed, and shall be differentiated from the main house color.
  - q. From time to time the ARB may provide general guidance specific to each lot regarding massing, placement, access, etc. in particular where topographical conditions vary or where certain lots function in specific ways relative to the urban design plan of the neighborhood. Such guidance when conveyed shall be incorporated by reference herein, or by periodic updates or amendments to these guidelines.

## **2. Green Building**

- a. Green building design, materials and methods are highly encouraged in 751 South.
- b. Designs that meet LEED, NAHB, Earthcraft or any other "green certified" requirements are welcomed to be part of the overall fabric of the development.

## **3. Chimneys/Fireplaces**

- a. Traditional fireplaces with a chimney stack are encouraged.
- b. Side venting/direct vented fireplaces are permitted and shall be located and identified on the plans. The visible portion of the vent shall be mounted on a

5/4 block. The block and the vent shall be painted the same color as the siding.

- c. Side venting fireplace vents shall have fencing or landscaping installed permanently to prevent seeing the vent flue from the street or alley.
- d. Chimneys may encroach into the required setbacks 2'.
- e. Exposed chimney materials shall be brick or stucco.
- f. Chimneys shall be a minimum of 3'6" wide and 2'0" deep at the top and shall be wider at the bottom. Straight chimney stacks (chases) will be considered; however, chimneys shall be either incorporated into the footprint of the house. If the stack (chase) is exposed, it shall be full height and clear the roofing above. No partial height chimney stacks are permitted.

#### **4. Exterior Tankless Hot Water Heaters**

- a. Tankless, exterior wall mounted, hot water heaters are permitted for use at 751 South when a 6' tall fence or landscape material is provided to block it from view of the public right of way.
- b. Tankless hot water heaters may be surface or recess mounted on the rear sidewalls or rear walls of homes. They shall be placed on a 5/4 panel of fiber cement or cellular pvc and grouped as close to other wall mounted utilities, such as exterior low voltage wiring, HVAC units and electrical meters.
- c. Tankless water heaters shall never be located along any front elevation or side elevation facing a street or other publicly accessible civic space, green, or walkway.
- d. Such equipment shall be shown on the site plan, floor plans, elevations and landscape design.

#### **5. Exterior Wall Penetrations**

- a. No wall penetrations shall be located on the front façade of the house or side façade facing a side street or other publicly accessible civic space, green, or walkway; they may face side and rear alleys.
- b. Wall penetrations shall be set back from the front of the house as far as possible, preferably placed on the rear roof or walls.
- c. All exterior wall mounted vents and flues shall be painted to match the siding color.

#### **6. Exterior Decks, Stairs and Steps**

- a. Front porch steps may encroach on front yard setback but may not encroach onto the street, right of way, alley or any of the common areas.
- b. At locations where the bottom tread of the front steps are less than 3'0" from a property line to a common area or park, the landing at grade and the walk between the landing and the park or pathway system shall be the same material as the adjacent walkway unless otherwise approved.
- c. All exterior decks and porches shall be painted or be of an approved integral color.

#### **7. Garage Skirt and Drip Boards**

- a. Skirt/band boards with a drip cap shall be provided at all locations where the siding/brick intersects with the foundation/crawl space beam unless approved otherwise.
- b. The bottom of the skirt board at the garage should be no more than 8" above the highest/closest abutting grade.

- c. Keep garage windows high enough in the façade so that the windows will not interrupt the line of the drip or skirt boards.

## 8. Roofs and Roofing

- a. Provide eave returns on all open gables so as to avoid “pork chop” conditions at these locations. Eave returns can consist of metal or asphalt shingles.
- b. Standing Seam roofs ridge caps should be as small as possible. Standing seam roofs over small areas such as bay windows or towers should have crimped edges rather than ridge caps.
- c. Metal vents on asphalt shingle roofs are acceptable if the location, design and color are coordinated so as not to be visible from the street.
- d. Gutters and downspouts are required on all townhouse units.

## 9. Windows and Doors

- a. Window sizes shall be indicated on plans and elevations. Window sizes and proportions shall relate to the overall visual composition of the elevation. Windows and any individual window panes, implied or actual, should have vertical proportions or – where specifically approved – square proportions at a minimum. Windows shall not have horizontal proportions. Window sizes, proportions, and details such as sash, rail width and muntin design, shall be stylistically consistent with the overall composition.
- b. Sashes shall be a minimum of 1 ¼” wide, muntins 7/8” wide minimum.
- c. Mullions between the ganged windows, doors and sidelights shall be 3” minimum and 6” maximum. Mullions shall be made of the trim material and shall not be ganged at the factory.
- d. Mullions between windows and transom windows shall be at least 3” thick.
- e. Transom windows shall be minimum height of 1’2” tall. Some transom windows may be larger.
- f. Transom windows will always have sashes. No direct set glass transoms are allowed.
- g. All muntins shall project from the face of the glass in doors or windows a minimum of ¼.” Muntin colors always match the colors of the sashes, stile or rails of the window or door in which they are set.
- h. All window and door trim shall be of smooth knot free exterior grade material.
- i. Real leaded, stained or translucent or obscure glass is welcome; however, films and other treatments placed on glass in windows or doors are not permitted.
- j. Sliding or metal doors are not permitted.
- k. Locations of crawl space doors shall be carefully coordinated with the finished grade of the house. Such doors should be simple in design and inconspicuous in their placement. Over trimming or providing a recessed or raised panel door should be avoided.

## 10. Colors

A suggested color palate has been selected from Sherwin Williams and is included as Appendix A of these guidelines. The list of preliminarily approved colors does not preclude the use of other colors or other manufacturers. Final approvals for colors will be determined by the ARB based on a range of considerations including the frequency of use of a particular color, compatibility

with adjacent and nearby colors, and suitability for a given architectural composition.

### **11. Garage Doors**

- a. Garage doors widths can be proposed by the builder and can be one large door or a series of smaller doors depending on the size of the garage.
- b. Garage doors may have an arched window in the top of the door only if the top of frame and casing of the door is arched in a concentric relationship to the top of the window in the door.
- c. Garage doors for front loaded housing units shall be of carriage house garage door type. See Approved Materials Guidelines for more details. All other (rear loaded) garage doors may be wood, embossed steel or fiberglass.

### **12. Shutters**

- a. Shutters, if used, should be designed with hardware to appear as if they are operable and should be sized to cover the entire window. Generally, they should be ½ size of the window specified.
- b. Swinging shutters used at gang windows shall have multiple hinges and multiple shutters so that the shutters cover the entire window when closed. Each individual shutter shall be ½ the width of the adjacent window.

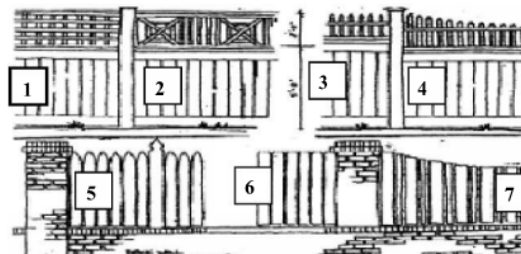
### **13. Landscape, Hardscape and Site Design**

- a. Landscape plans and all landscaping requires ARB approval prior to installation.
- b. The builder is responsible for installing Bermuda Sod in the verge area (between the sidewalk and the curb) within the limits of their adjacent property lines. The developer will install any street trees directly adjacent to the property lines as pods are completed and/or seasons permit. If a walk is desired within the planting verge between the sidewalk and back or curb, its location and size should coordinate with the sidewalk connection to the front porch and main entry. No other landscaping material is allowed to be placed in the verge.
- c. All street trees shall be specimen type preselected by the 751 South Development Team and will be installed as indicated on the approved Site Plans.
- d. Irrigation is not required at all attached and detached housing units. Plant materials, therefore, should be of a size and type that are drought tolerant.
- e. Builders are responsible for placement of landscaping within the easement area(s) on any lot unless such easements are part of the designated HOA spaces as shared green space or civic space. Builder responsibility includes the 5' easement and setbacks on alley loaded lots inside the property line for dry utilities; note that fences are not allowed within this area.
- f. Fencing and Gates
  1. Location and type must be submitted for approval by the ARB. Except as specifically approved in writing by the ARB, no fence, wall or hedge shall be Maintained on any portion of the Property nearer to any street adjoining the front of such portion of the Property than the front corner of the Dwelling Unit or other main building thereon, and shall not exceed six (6) feet in height unless otherwise specifically required by the City. All

fences, walls and hedges on the Property shall be Maintained at all times in a structurally sound and attractive manner and in a good state of repair. All fences, walls and hedges on the Property shall be of materials and design approved by the ARB, and no fence, wall or hedge shall be Maintained on any portion of the Property until the Owner thereof has obtained written approval therefor from the ARB.

2. 751 South has two types of fences: privacy and decorative. Privacy fences are generally located along the rear and sides of the lot. Decorative fences are typically located along the street and/or alley facing the front or side elevation of the house. Some examples of these types of fences are illustrated below:

**Seven examples of 6' Privacy Fences.** All have 4' solid wood pickets with 2' caps, or a 2' brick footer supporting 4' solid wood pickets.

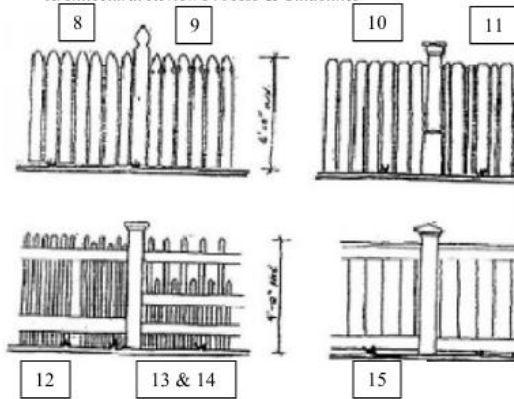


**Styles 1-4** are 1x4 board on board with 2' non-solid caps and 6x6 Posts. Slats may be 1x6 if desired.

**Styles 5-7** have 1x4 pickets and are built atop a 2' high brick retaining or decorative wall. **Style 7** has alternating 1x4s and 1x2s

**Style 7** may have a convex curve, be board on board, but total height (ground to top of curve) should not exceed 5 feet.

*Architectural Review Process & Guidelines*



**Style 8:** 1x4 Pickets with Gothic Cap. 6x6 Posts

**Style 9:** 1x4 Pickets with French Gothic Cap. 6x6 Posts

**Style 10:** 1x4 Pickets / Dog-Ear Caps. Enlarged Cap and Base

**Style 11:** 1x2/1x4 Pickets, 4x4 post, with Enlarged Cap and Base

**Style 12:** 2x2 Pickets, Even Heights, 6x6 Posts with Enlarged Cap

**Style 13 & 14:** 2x2 Pickets, Alternating Heights, 6x6 Posts with Enlarged Cap

**Style 15:** 1x6 Board on Board with 2x4 Cap and Base. 6x6 Post

3. When reviewing an application for application for approval of a fence installation the ARB will consider the following factors:
  - a. Style and Height – decorative fences are usually 2.5 to 3.5 feet high; privacy fences are up to 6' high. A board-on-board solid wood privacy fence should not be more than 4' high to avoid a "stockade-like" appearance.
  - b. Setback – the fence should be clear of lot lines and easements, with sufficient room for sprinklers and landscaping. Front decorative fences should be at least 2' off the sidewalk. Side privacy fences should run 1' inside to avoid any encroachment or neighboring property. Rear privacy fences for homes on alleys

- should be a of 4' from the alley. Privacy fences for home not on alley may run along the rear property line.
- c. Finish – the proposed fence finish should maintain the streetscape and be harmonious with its immediate surroundings. Accordingly, fences abutting a street or an alley must be painted white. If painted, fences must be painted on both sides of the pickets. In any case, all fences must be treated, painted or stained, after a sufficient curing time but no longer than six months.
  - 4. Materials other than chain link fencing may be approved. If an ornamental metal fencing is specified, it should be factory prefinished.
  - 5. 4' high fences should be provided where trash receptacles, HVAC units, Electrical or Gas Meters are exposed to publicly accessible spaces. Shrubs or hedges to screen these may also be deemed by the ARB to be sufficient for screening purposes.
  - 6. The tops of fences should be horizontal and should not slope with the slope of the finished grade. the top of the fencing therefore must step with the grade rather than slope with it; the bottom of fences shall slope with the finished grade.
  - 7. "Living Fences" will be considered on a lot by lot basis and can only be installed in the rear and along the sides of the lots that are not exposed to street views.
  - g. All foundation plantings shall be an evergreen type of material.
  - h. Lots with considerable slope between the front porch and the sidewalk may be required to have a garden wall built along the front of the lot of reduce the slope of the finished grade.
  - i. Sod
    - 1. Required in the verge area and any other drainage area.
    - 2. A sod strip should be considered in areas of the lot where there is considerable grade differential between the lot, the adjacent lot, the sidewalk and the alley. Sod should be considered where it will be beneficial as a filter to prevent the migration of mulch or other buoyant landscape materials from the lot to the hardscape areas including adjacent sidewalks and alleys.
  - j. Planting beds
    - 1. Planting beds should be edged with brick, slate or simple metal edging. No concrete curbs or plastic edging is allowed as edging material.
    - 2. Tan, red or black mulch is not allowed in 751 South. Brown or dark brown hardwood mulch is permitted.
    - 3. Use of pinestraw for mulch beds is not allowed in 751 South.
    - 4. Large mulch beds with no plantings are only permitted in areas not visible from the street.
    - 5. Stone or gravel mulching is not permitted. Use of stone for courtyard areas or pathways require ARB approval for materials and location.
    - 6. Lots with alleys at the side property lines should consider ground cover or shrub material to spatially define the boundary between the public space and the semi-private or private lot area.
  - k. A minimum of one (1) tree shall be placed on each lot.
  - l. Driveways and sidewalks should be pavers or concrete. Stamped concrete or stamped asphalt is not allowed without specific approval for a given application by the ARB.

- m. Parking spaces visible from the street or other public right of way shall be screened with a structure, fence or tall hedge.

**C. Design Professionals**

All plans for new structures and additions to existing structures shall be prepared by licensed professionals or otherwise qualified architects, landscape architects, engineers or other qualified designers.

Consistent with encouraging diversity in house plans and product types, many architects have readily available house plans as part of their plan library specifically designed to fit smaller lots. A partial list of recommended architects and firms from which plans may be sourced and design expertise may be purchased is indicated below:

Allison Ramsey Architects  
1003 Charles St.  
Beaufort, SC 29902  
Phone:(843) 986-0559

Moser Design Group  
17 Market #2  
Beaufort, SC 29906  
Phone: (843) 379-5630

Historical Concepts  
490 Brasfield Square  
Atlanta, GA 30316  
Phone: (678) 325-6655

Whole Town Solutions  
665 8<sup>th</sup> Street NW Suite B  
Atlanta, GA 30318  
Phone: (404) 458-6212

Union Studio  
140 Union St  
Providence, RI 02903  
Phone: (401) 272-4724

Sommer Design Studios  
10227 Warwick Blvd  
Hilton Village, VA 23601  
Phone: (678) 357-5057

Tightlines Designs  
David Maurer  
115 E Hargett St #300  
Raleigh, NC 27601  
Phone: (919) 834-3600

Linton Architects  
Coby Linton  
2625 Hillsborough Rd  
Durham, NC 27705  
Phone: (919) 636-4708

**SECTION III**

**MATERIAL GUIDELINES**

**A. Exterior Trim**

1. All cornice, window and door trim, frieze skirt belt, corner and drip boards shall be of an exterior grade with a smooth finish. Some manufacturers include Azek, Miratech, Fiberstrait, Hardie Board, etc.
2. Spruce and knotty materials are not permitted. Finger jointed pine or other softwoods are not approved for exterior use.
3. When exposed rafter tails are indicated, the sheathing shall be 1x tongue and groove materials in wood, CPVC or fiber cement.
4. Wood and Door Trim, rake and frieze trim shall be one piece when trimming doors or windows with integral window frame extensions. The trim shall project ¾" past

the face of the window or door frame. All visible trim shall be cellular PVC or other man-made materials. Pressure treated and or other lumber is not permitted to be visible.

5. Roof systems or entrance roofs with beams supported by brackets shall be made from 4x or 6x material. Laminated 2x materials shall not be used in exterior, exposed beams or brackets in any location.
6. The ARB strongly encourages the enclosure of the space under exterior stairs with lattice, hog fencing or other materials and ARB approval is required.
7. Suggested Manufacturers
  - Azek
  - MiraTEC
  - Fiberstrait
  - James Hardie
  - Koma
  - Kleer and Ryoal Mouldings
  - Boral Trim
  - Wolf PVC Trimboards
  - Duraboard
  - Versatex
  - NichiTrim
  - Certainteed Restoration Millwork

#### **B. Siding and Shingles**

1. Fiber Cement Siding – smooth finish only. No faux wood grain is allowed for any use of composite materials.
2. Horizontal siding, clapboard or wood shingles are permitted. All real wood shingles are required to be prefinished or stained.
3. Panels Board and Batten Materials – must have the appearance of traditional board and batten siding materials or panels except when applied to surface of the home.
4. Suggested Manufacturers
  - James Hardie – fiber cement siding and shingles.
  - Nichiha fiber cement – siding only and some of their shingle products.
  - Certainteed Weatherboards fiber cement
  - Cedar Valley Red Cedar Shingles – must be prefinished in factory or stained/finished on site.
  - Maibec White Cedar Shingles – must be prefinished in factory or stained/finished on site.
  - White Cedar Shingles – must be prefinished in factory or stained/finished on site.
  - NuCedar – siding and trim.
5. Vinyl siding is not allowed.

#### **C. Foundations**

1. As guidance for foundation treatments, especially on lots with more than a few feet of fall, consider the following:
  - Where foundations for the forwardmost primary building mass are taller than 3' exposed, brick should be anticipated on sides as well as the front for that primary mass.
  - Where visual exposures to public spaces (streets, parks, alleys, and paths) are limited due to lot configuration, building configuration, and topography, less

stringent requirements may apply; where exposures are pronounced, for the main mass as well as other portions of the house, more extensive use of brick should be anticipated.

- The 3' height can serve as general guidance but variation should be anticipated depending on individual site and building conditions.

#### **D. Stucco**

1. Simple sand finish. Wormy and rough trowelled finishes are discouraged.
2. Use types of products oriented to the substrate being applied to and follow manufacturer's instructions for the substrate and ground contact.
3. Exposed concrete foundations shall be prepped and coated with a single coat of stucco or equivalent parging material.
4. Exposed foundation walls generally must be painted a color distinct from the main siding color; colors require ARB approval.
5. Suggested Manufacturers
  - Sto
  - Dryvit
  - Other equivalent brands/manufacturers

#### **E. Porches, Decks, Railings and Exterior Stairs**

- A. Columns and newel posts can be pressure treated material. All elements must be sized and spaced to be in proportion with the overall size and height of the porch beam or deck where installed. Columns should be avoided directly in front of windows unless deemed by the ARB to be appropriate for the overall composition.
- B. Wrapped exterior trim around porch columns and newel posts is strongly recommended. All corners shall be mitered except when the trim is chamfered.
- C. Column capitals shall never encroach into the underside of the bottom of the porch beam.
- D. The tops of all columns shall be solid so as to not allow the infiltration of water into the column. If necessary a cap shall be placed inside the head piece of the column to prevent water infiltration.
- E. Railings
  - a. No faux wood grain is permitted.
  - b. Cellular PVC with solid metal cores is permitted.
  - c. No exposed fasteners are allowed.
  - d. No rosettes or sleeves to fasten to columns, newels or walls. Railing must be able to be fastened directly to siding or pilaster.
  - e. No use of manufacturer's stock newel posts. All newel posts to be pressure treated or cedar 6x6s as indicated on the architect's drawings.
  - f. Only the bottom of the porch railings shall follow the slope of the porch. The top of the porch railing is always set horizontal.
  - g. Suggested Manufacturers
    - Azek
    - RDI – Railing Dynamics Incorporated
    - LWO – red cedar or primed finish
    - Most Pressure Treated Railing Systems
    - Intex – Nautilus
    - Timbertech Radiance
    - Certainteed Panorama CPVC Composite Railing System
    - Perma Porch Rail System by HB&G

- Expanse Elite Rail System

#### F. Porch Flooring

- Provide a slope from the house to the edge of the front porch of 1/8" per foot to 1/4" per foot whether using a deck type of material with spaces between the board or tongue and groove material.
- All deck types of installations shall be picture framed except the T&G installation.
- Pressure treated wood decking is allowed although we strongly recommend that you keep this localized to the rear yard or areas which will be hidden by a fence.
- Vinyl or other uniform decking material may not be exposed on any porch or deck in 751 South. The finished walking deck surface shall be an approved finished decking material.
- Porch Flooring shall match the material and color of the treads of porch steps.
- All porch tread risers shall be mitered to the decorative stringers at the sides of the porch steps.
- Suggested Manufacturers
  - Ipe, Camberra and other South American Hardwoods
  - Azek T&G & decking
  - Aeratis T&G
  - Weather Ready T&G by Gossen
  - Wolf Decking
  - CaliBamboo Composite Decking – non-straited side only
  - Tamko
  - Trex
  - Kodiak
  - Solstice
  - Certainteed
- If an elevated porch slab is used it should be concrete picture framed with brick to match the house or the brick pavers or all brick pavers.

#### F. Roofing

- Asphalt – 30 year architectural shingles from various manufacturers.
- Metal Roofing – prefinished standing seam or galvalume metal roofing from various manufacturers are acceptable.
- Faux Slate Roofing – will be considered on a case by case basis upon submittal of proposed material to be used.
- Other roof materials will be considered on a case by case basis.

#### G. Gutters and Downspouts

- All gutters shall be box type or 1/2 round.
- Gutter straps fastening the gutter to roof sheathing shall be hidden and never placed on top of existing roofing. Brackets supporting the gutters from below shall be decorative.
- Approved gutter materials are prefinished painted, copper or galvanized.
- Gutters area required on all townhouse or any other attached housing units.

#### H. Windows and Doors

- See Design Guidelines for information about the specific items related to the sizing

and proportions of the windows and doors.

a. Suggested Window Manufacturers

- Anderson
- PlyGem
- Marvin
- Pella
- Kolbe
- Jeld Wen

b. Suggested Door Manufacturers

- Simpson
- Tucker
- Thermatru
- Jeld Wen
- Anderson
- Marvin

**I. Garage Doors**

a. Doors Exposed to Street View (this includes rear loaded end units located where the doors could be visible to the street from the alley). All of these doors must be installed with surface mounted hardware.

- Clopay Coachman
- CHI – only 5300/5600 steel faced, 5400/5700 cedar faced with steel structure, 5500/5800 fiberglass beadboard.
- Wayne Dalton – 7420 and 7421 wood, 75400 and 7412 wood over polystyrene, 7000 series wood, 9700 series steel.

b. Alley facing garage doors – any manufacturer of stamped steel or aluminum doors is acceptable except at the end units where the garage is visible to street.

**J. Exterior Lighting and Electrical Outlets**

1. No exterior flood lights are permitted in 751 South per Durham UDO Section 7.4, which prohibits more than ½ foot candle between residential properties. These lights typically create light pollution at adjacent properties.
2. White light fixtures are not permitted. Copper, brass, galvalume, and black finish light fixtures are encouraged.
3. Exterior electric outlet boxes shall have solid plastic or metal covers. Clear plastic or bubble covers are not allowed. Arlington Industries has a white plastic outlet box either in recessed or surface mounted type specifically designed for use with wood or fiber cement siding. Those manufactured in such a way as to form a channel around the edges of vinyl siding are not approved.
4. Exterior electrical outlets should not be directly mounted to the siding.

**K. Miscellaneous Building Items**

1. Hose Bibs
  - a. Required to be installed in or below the skirt board.
  - b. Not permitted in the front of the house except in townhouses or other attached housing types.
2. All exterior wall penetrations including but not limited to vents, light fixtures, hose bibs, electrical meter panels, exterior wall mounted water heaters, receptacles switches, etc. shall be placed on 5/4" blocking painted the color of the siding. Do not directly mount any of these items on the siding. Please consider ganging these

- items in centralized location where perhaps a single wall panel can be used to install a majority of these wall mounted items.
3. Exposed corrugated outflow pipes attached to bottom of the downspout are not permitted in 751 South. Splashblocks or a gravel base may be used to better control the velocity of the water and allow it to percolate into the ground rather than routing it to adjacent properties.
  4. Street Numbers should be a minimum of 4" high metal in black, brown, bronze, copper or any other dark contrasting color. Wood or plastic numbers are not allowed.

**L. Exterior Walks and Driveways**

Walks and driveways may be pavers, concrete, concrete with paver border or exposed aggregate concrete. Stamped concrete, gravel or clamshells are not allowed.

**SECTION IV**

**DESIGN REVIEW PROCESS**

The 751 South ARB process includes options for a conceptual review, a preliminary review, an expedited review, as well as a required final review and landscaping review for all new construction. In addition, several inspections are required or are available as part of the new construction process. Each of these steps is also available and/or required for modifications or changes made to existing homes and landscaping as described elsewhere in these guidelines. Approval of a specific house plan for a given lot shall not be construed as an approval for that plan for use elsewhere in the neighborhood, nor should the resolution of any particular detail or design approach associated with one home negate the ARB's role, function, and ability to consider all aspects of a given proposal in subsequent proposed uses of the same or similar plans.

The purpose for each of these reviews or ARB actions is as follows:

**A. Conceptual Design Review**

The conceptual review is available primarily to allow a builder to determine the suitability of a particular plan to a particular lot. Upon request for a Conceptual Design Review, the ARB will indicate whether the selected plan is generally suitable for the lot based on the information provided. General considerations to be taken into account include the appropriateness of the plan and proposed elevations within the 751 South community, the extent of the same or similar plans used throughout 751 South and in the vicinity of the proposed lot, the resulting street scape composition, and the appropriateness of the plan, possibly with revisions, to respond to specific conditions of the lot such as sightlines, prominent views, topography, etc. The Conceptual Review does not authorize any specific aspects of the plan on a particular lot other than as a preliminary indication of its suitability, with or without modifications, based on general feedback as provided. The purpose of the Conceptual Design Review is to allow builders to proceed with developing more complete designs based on the expectation that the selected plan can be developed sufficiently to meet 751 South ARB requirements, and that said plan may be used on the lot under consideration. Detailed consideration of elevation composition, massing, roof slopes, window configurations and number, proportions, materials, trim details, colors, and landscaping will be conducted as part of preliminary (if requested) and final design reviews.

## **B. Preliminary Design Review**

A preliminary design review is available primarily to allow builders to ascertain the main architectural considerations associated with adapting a specific plan to a specific lot. This review is focused on considerations such as responding to a particular streetscape or frontage condition, side lot relationships, topographical conditions, the positioning of garages and porches, the provision of private outdoor space, and differentiation of primary and secondary massing.

General consideration will also be given to the elevation composition, proportions, window locations, and stylistic considerations including trim details, etc. Feedback at the Preliminary Design Review stage does not constitute approval of any final design decisions such as specific dimensions, roof slopes, window sizing or locations, articulation of massing, trim details, etc. Instead, the preliminary design review is intended to allow a builder to ascertain what primary considerations must be made in order to refine the design sufficiently to prepare a plan submittal for Final Design Review. Barring the submittal of a complete set of documents, and in cases even with such a submittal, it is expected that final resolution of proportions, trim patterns, certain compositional relationships in elevation and in plan, colors, landscaping, etc. will change in advance of or as part of the Final Design Review.

Proceeding to a Final Design Review with or without a Preliminary Design Review shall be at the discretion of the applicant.

## **C. Final Design Review (Required)**

Final Design review is a detailed review of the elements under purview by the ARB as described in these guidelines and through associated design references. The ARB will consider feedback as provided in any conceptual and preliminary review, and other materials as provided to or referenced with the builders or their representatives including through these guidelines. Upon completion of this review, the proposed design may be rejected, approved, or approved as noted. approved plans will be stamped accordingly, authorizing the builder to initiate construction accordingly subject to securing all other necessary permitting and regulatory approvals.

## **D. Expedited Review**

The 751 South ARB will endeavor to address all materials submitted for consideration on a regular weekly basis, with some disruptions associated with holiday periods. Upon convening to consider plans submitted for review, the ARB will respond to applicants within 48 hours of considering a submittal. As an option, for any level of review (Conceptual, Preliminary, Final, Landscaping) an applicant may request an expedited review. Subject to the ARB's availability to respond, and with agreement by the applicant to pay the expedited review fee, an expedited review will be conducted and a response provided to the applicant within two business days. Should a response take more time the expedited review fee will not be charged.

## **E. Stakeout Inspection (Required)**

The stakeout inspection exists to enable verification that the placement of the house and ancillary structures is consistent with plans approved by the ARB. This inspection also enables the noting of any issues with the existing infrastructure, such as damage to sidewalks, curb, gutter, missing water and sewer taps, locations of transformers and other dry utilities. The applicant is required to stake out the entire footprint of the house and any ancillary structures. The applicant should set an appointment for

Stakeout Inspection with the representative of the 751 South ARB at least forty eight (48) hours in advance.

**F. Periodic Inspections**

Representatives of the 751 South ARB shall be allowed unrestricted access to all job sites to observe whether the work being performed conforms to ARB approvals and the guidelines as purview referenced herein. No presence of or inspection by representatives of the 751 South Developer shall be construed as construction observation or inspection beyond the explicit role defined for the 751 South ARB in these guidelines, except as required by law. The 751 South ARB, in whole or in part, is not and shall not be a party to the contract, implied or otherwise, in the performance of the work for any construction, installation, modification, or alteration of building or landscaping as a result of its work as the 751 South ARB.

**G. Landscaping Inspection (Required)**

The Landscaping Inspection has been established to ensure the applicant's landscape design complies with the established landscape standards and the approved landscaping plan as part of these guidelines.

**H. Final Inspection (Required)**

Upon completion of construction, the applicant should request a final inspection. During the Final Inspection, a representative of the ARB will review the house to verify that the exterior building and landscaping was constructed in in substantial compliance with the design as approved by the ARB.

**I. Changes to Approved Designs, Modifications, or Alterations to Existing Structures and Lot Improvements (As Required)**

The applicant shall inform the ARB and request approval prior to any changes to the approved design. The ARB will report approval, where granted, via email or written communications to the applicant.

**Section V**

**DESIGN REVIEW SUBMITTAL REQUIREMENTS**

Each review step is predicated on having sufficiently detailed information provided by the applicant in order for the ARB to effectively respond. Listed below are the items identified as necessary pieces to allow ARB to perform its duties. The ARB retains the sole discretion to issue approvals despite incomplete information being provided by the applicant, but in such cases any modifications or changes to the approvals upon consideration or discovery of new information shall be the responsibility of the applicant, and subject to further review by the ARB.

**A. CONCEPTUAL DESIGN REVIEW SUBMITTAL REQUIREMENTS**

**1. Proposed Site Plan to scale which may be in sketch form and includes:**

- North Arrow
- Accurate lot lines including dimensions, angles and amount of curve
- All buildings, structures, setbacks, sidewalks, easements, and street rights-of-way, alleys, or civic space contiguous to the lot
- Required set back lines per the lot specific Design Guidelines and Lot Standard Chart

- Building footprint with overall dimensions and distances between proposed structure and property lines, with clear indication of porches, decks, and entry points
- Driveways, walks, and hardscape areas
- Fixed utility locations, such as transformers
- Structure locations on the immediately adjacent lots, if approved and if provided by the same builder as the proposed home.

## **2. Proposed Floor Plans, Elevations and intended Roof Massing**

- Includes plan for each floor
- Principal exterior materials identified
- All roof pitches and massing are indicated
- All openings, doors, windows are correctly shown and coordinated between the building plans and site plans
- All porches, decks, walkways, and driveways are conceptually illustrated
- Conceptual grading is reflected in the plans and/or elevations with clear indications of any proposed retaining walls, adjustments to garage elevations or front entry stairs, and other indications of adequate attention to lot slope and adjacent streets, lots, alleys, etc.

## **B. PRELIMINARY DESIGN REVIEW SUBMITTAL REQUIREMENTS**

### **1. Proposed Site Plan to scale which includes:**

- North Arrow
- Accurate lot lines including dimensions, angles and amount of curve
- All buildings, structures, setbacks, sidewalks, easements, and street right-of-ways contiguous to the lot
- Required setback lines per the lot specific Design Guidelines and Lot Standard Chart
- Building footprint with overall dimensions and distances between the proposed structure(s) and property lines
- Roof overhangs shown as dashed lines
- Driveways, walks, hardscape areas and pools, if any
- Existing and proposed grades or sufficient indications of proposed lot grades to insure positive drainage.

### **2. Proposed Floor, Roof Plans and Elevations**

- Includes plans to scale for each floor
- Principal exterior materials identified and rendered
- Overhangs of floors and roofs are shown with dashed lines; All roof pitches are shown on the roofing plan
- All openings, doors and windows are correctly shown and coordinated between the plans and elevations
- Finish floor elevations of the house, garages, porches, stairs, and landings are shown to indicate they are properly interfacing with the existing adjoining grades.
- Ceiling heights are indicated.

## C. FINAL DESIGN REVIEW SUBMITTAL REQUIREMENTS

### 1. Final Plan Guidelines:

- All drawings and notes are included preferably in a single pdf
- Cover Sheet shall include a Drawing Index for all sheets, a summary of floor areas of heated and non-heated covered spaces including porches, garages and rooms over garages as well as a delineation of the building code in which the home was designed
- Title Block on all sheets shall include sheet number, date of issuance, 751 South Lot Number, House Address (if known), Architect or Designer's name and contact information, and a space for an approval stamp.

### 2. Drawings Required:

#### a. Site Plan or Plot Plan to scale, including:

- North Arrow
- Accurate lot lines including dimensions, angles and amount of curve
- All buildings, structures, fences, setbacks, sidewalks, easements, and street rights of way contiguous to the lot
- Building footprint with overall dimensions and distances between proposed footprints and property lines
- Roof overhangs shown as dashed lines
- Driveways, walks, landscape areas, hardscape areas, and pools, if any
- Fences with dimensions, heights and materials (may be on a separate drawing or subsequent submittal)
- Water, sewer, electrical and gas services, including transformers if located on the lot
- Exterior light locations
- Location of external equipment, including, but not limited to, electric meter, air conditioning condenser, and pool equipment
- Location of waste and recycling bins – bins must be screened or stored inside garages
- Grading plan indicating proposed grades and/or sufficient notation of positive lot drainage.

#### b. Proposed Floor Plans, Elevations and Sections

- Plans for each floor
- All openings, windows and doors including window head and sill heights
- Principle exterior materials identified and rendered
- All finish floors dimensioned in relation to finished exterior grade
- Eave and roof ridges dimensioned including roof slopes
- Window head and sill heights
- Typical porch sections should be labeled and fully dimensioned
- Wall sections as necessary to convey essential proportional relationships.

c. Exterior Details

- Eave and cornice details
- Chimney details
- Column details
- Porch and railing details
- Window head, jamb and sill details
- Door and door frame details
- Exterior siding details (corner boards, foundation, jointing, brick bonds, etc.)
- Material designations – labeled and dimensioned.

**D. LANDSCAPE DESIGN REVIEW SUBMITTAL REQUIREMENTS**

Landscape Plans should include the following:

- Location, species, quantity, and planting size of landscape materials
- Location and materials for driveways, walkways, landscape beds and/or specimens, and hardscape areas
- Edge treatments of any beds or lawn areas
- Fencing and/or screening of waste and recycling receptacles
- Pools and pool decks
- Fences, including dimensions, style, heights, and materials
- Location and coverage of irrigation systems
- Locations of external equipment, including, but not limited to, gas meter, electric meter, air conditioning condenser, pool equipment, etc.
- Direction of slopes for proper site drainage to streets and alleys
- Proposed final grades, where any substantial difference exists between lot grade prior to construction and the proposed design.

**SECTION VI**

**FEE SCHEDULE AND TIMING FOR ARB REVIEWS**

**A. Fee Schedule:**

1. The fee schedule for ARB reviews is indicated below. ARB reviews are required prior to the construction, alteration, or installation of any structure, fence, deck, porch, or landscaping elements or materials, and/or any change in colors or painting of any architectural structure or element, including those addressed in these guidelines. Builders and Owners shall be subject to the fee schedule below, independently, such that Owners (other than the initial builder) submitting plans or requests shall not be subject to re-review fees unless re-reviews are required for the respective projects, changes, or modifications for which approval is requested.
2. Any changes, additions, or other modifications to items addressed in these guidelines and proposed by owners of attached or detached units subsequent to the initial sale are required to be submitted for ARB review and approval. Examples of actions requiring ARB approval include:
  - Additions to the main house, garages, or decks or porches.
  - Any repainting of homes, porches, decks, front doors, windows, etc., that is any color other than that previously approved for a given home.

- Any installation of a new roofing material, or replacement of a roofing material that is different than that color previously approved for a given home.
- Landscaping changes such as hardscapes, landscape features, major planting of trees, shrubbery, or changes to landscaping beds in shape or material.
- Installation of or changes to fencing.

3. Review Fees, per lot:

- Initial Conceptual Review: No charge
- Each subsequent Conceptual Review, if required: \$250/hour
- Initial Preliminary Review: No Charge
- Each Subsequent Preliminary Review, if Required: \$250/hour, ARB Time
- Initial Final Review: No charge
- Each subsequent Final Review, if Required: \$250/hour, ARB Time
- Expedited review\*, any Level \$500 Flat Fee  
(\* Expedited review, upon request by the applicant, is subject to ARB availability)
- Initial Landscaping Review: No Charge
- Subsequent landscaping Reviews, if required: \$250/hour, ARB Time

4. The ARB Retains the right to waive review fees for each occurrence, at its sole discretion, and the right to adjust fees periodically.

**B. Review Timelines**

1. The ARB will endeavor to convene in a timely manner for all submittals and to provide feedback accordingly. Unless otherwise notified, ARB generally meets weekly, with feedback provided to the applicant within 48 hours of such meetings. Holidays may alter this schedule.
2. Expedited Review is Subject to the Availability of the ARB to convene, electronically or otherwise, and respond to an applicant's request outside of the standard weekly schedule for ARB Reviews. An expedited review is initiated when an applicant requests such a review and the ARB acknowledges its availability to conduct such a review. The applicant agrees to pay the Expedited Review Fee in a timely manner, independent of the results of such a review.

## APPENDIX 'A'

### EXTERIOR COLOR SCHEDULE

#### Single Family Residential Exterior Main Siding Colors with Preliminary Approval

*The following Sherwin Williams colors are preliminarily approved and encouraged on single family homes in 751 South. Final approvals for each lot will be determined by ARB based on consideration of replication across the whole project, compatibility with adjacent and nearby homes, and stylistic and compositional appropriateness. Other manufacturers and other colors are not precluded, but the following list gives a range of compatible colors that are encouraged for use in the neighborhood.*

SW 6119	Antique White		
SW 7005	Pure White		
SW 7008	Alabaster		
SW 7014	Eider White		
SW 7042	Shoji White	SW 2826	Colonial Revival Stone
SW 7566	Westhighland White	SW 2842	Roycroft Suede
		SW 2805	Renwick Beige
SW 0055	Light French Gray	SW 2833	Roycroft Vellum
SW 0023	Pewter Tankard	SW 2823	Rockwood Clay
SW 7649	Silverplate	SW 2824	Renwick Golden Oak
SW 0054	Twilight Gray	SW 2813	Downing Straw
SW 7016	Mindful Gray	SW 2814	Rockwood Antique Gold
SW 7017	Dorian Gray	SW 2817	Rockwood Amber
SW 0077	Classic French Gray		
SW 2821	Downing Stone	SW 2804	Renwick Rose Beige
SW 7052	Gray Area	SW 2083	Renwick Terra Cotta
		SW 2839	Roycroft Copper Red
SW 2860	Sage	SW 7592	Crabby Apple
SW 2826	Colonial Revival Green		
	Stone	SW 2819	Downing Slate
SW 7734	Olive Grove	SW 2811	Rockwood Blue Green
SW 7731	San Antonio Sage	SW 6244	Naval
SW 2815	Renwick Olive	SW 7039	Virtual Taupe
SW 7740	Messenger Bag	SW 2843	Roycroft Brass
		SW 6005	Folkstone
SW 6135	Ecru	SW 7545	Pier
SW 2857	Peace Yellow	SW 7048	Urbane Bronze
SW 7685	White Raisin		
SW 6137	Burlap		
SW 2841	Weathered Shingle		
SW 7546	Prairie Grass		





